

## 2.6 Heritage

**Heritage resources** and **heritage assets** are valued parts of our communities and Calgary as a whole. Both individually and collectively they contribute to community character and help create a sense of identity and place. Heritage tells the story of past generations for present and future generations. Heritage conservation is part of good city building and provides both economic and environmental benefits. Reuse of existing structures can reduce greenhouse gas emissions that would have been produced through construction-related activities including materials and transportation. Historic structures and districts can stimulate commercial activity and increase tourism activity and spending. Energy retrofits can improve the performance of older buildings, reducing greenhouse gas emissions, while preserving heritage character.

Heritage takes various forms in the West Elbow Communities. These include historic buildings that may be formally recognized on the **Inventory of Evaluated Historic Resources (Inventory)**, historic landscaped boulevards, as well as individual buildings and clusters of character homes (**heritage assets**) within Heritage Guideline Areas. This section provides policy for heritage in the West Elbow Communities.

## 2.6.1 Heritage Resources

**Heritage resources** are defining characteristics of communities and should be retained or protected while balancing the ability to redevelop. New development within the context of **heritage resources** should consider opportunities to balance both new and historic forms of development. The City of Calgary recognizes that there are **heritage resources** other than buildings that include archaeological and culturally significant areas.

### Policy

- a. Property owners are encouraged to retain and conserve **heritage resources** through adaptive reuse. This may include, but is not limited to, additional commercial uses and the development of backyard suites.
- b. The Development Authority should consider relaxations to The City's **land use bylaw**, to enable the retention of **heritage resources**.
- c. Property owners are encouraged to designate **inventory** properties as **Municipal Historic Resources**.
- d. Properties designated as **Municipal Historic Resources** should be maintained as such.
- e. Any proposed development on sites that include buildings identified on the **Inventory of Evaluated Historic Resources** should be encouraged to prioritize retention and incorporation of the **heritage resource** into the new development.
- f. An applicant is encouraged to provide photo documentation of **inventory** properties to The City prior demolition or redevelopment. Interpretative or commemorative features should be incorporated into the new development.
- g. For redevelopment proposals that include **inventory** properties, other than that of single detached, semi-detached or rowhouse development, the applicant should consult with the community and The City's Heritage Civic Partner to determine appropriate commemorative features. Single detached, semi-detached, or rowhouse development on sites with **inventory** properties should follow standard approved commemoration practices.
- h. Opportunities to mitigate or offset negative outcomes for heritage conservation should be explored at the time of a planning application, including, but not limited to protection of another **heritage resource** within the surrounding area.
- i. Where there are groupings of **heritage resources**, methods to conserve and maintain the groupings should be explored.
- j. New development should be compatible with the context of abutting sites on the **inventory** using front setbacks, massing, **street wall** height and landscaping. When there is new development adjacent to or nearby **heritage resources**, the development should draw design reference from the **heritage resources** and should not overwhelm the form and massing of adjacent **heritage resources**.
- k. New development is encouraged to integrate contemporary interpretations of historical design, detail and materials and not directly copy the design of heritage buildings in the area.
- l. New development is encouraged to conserve and integrate **heritage resources**, in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada (2010).
- m. Additions and alterations to **heritage resources** shall be evaluated in terms of the specific styles and details dictated by the character of the **heritage resource** and in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada (2010).

## 2.6.2 Heritage Guideline Areas

To recognize and celebrate the unique history and resulting **built form** that is seen in parts of the West Elbow Communities, Heritage Guideline Areas with concentrated groupings of residential **heritage assets** have been identified. These residential **heritage assets** are privately owned buildings, typically constructed prior to 1945, that significantly retain their original form, scale, massing, window/door pattern, and architectural details or materials. Concentrations of residential **heritage assets** that help define the Heritage Guideline Areas are identified on Map 5. These guidelines apply to block faces where more than 25% of the buildings have been identified as **heritage assets**. Buildings that qualify as residential **heritage assets** may be listed on the **Inventory of Evaluated Historic Resources**, but it is not a requirement.

The Plan applies specific guidelines to the Heritage Guideline Areas to ensure the new development fits into the area's historic fabric and context. They are not intended to directly recreate historical architectural styles for new development, but to incorporate design elements that allow them to contribute and enhance the historic character of the Heritage Guideline Areas. The Heritage Guidelines address general characteristics of buildings rather than enforcing strict architectural rules. The guidelines will be applied through the development permit review process to ensure new development responds to and contextually fits with existing residential **heritage assets**.

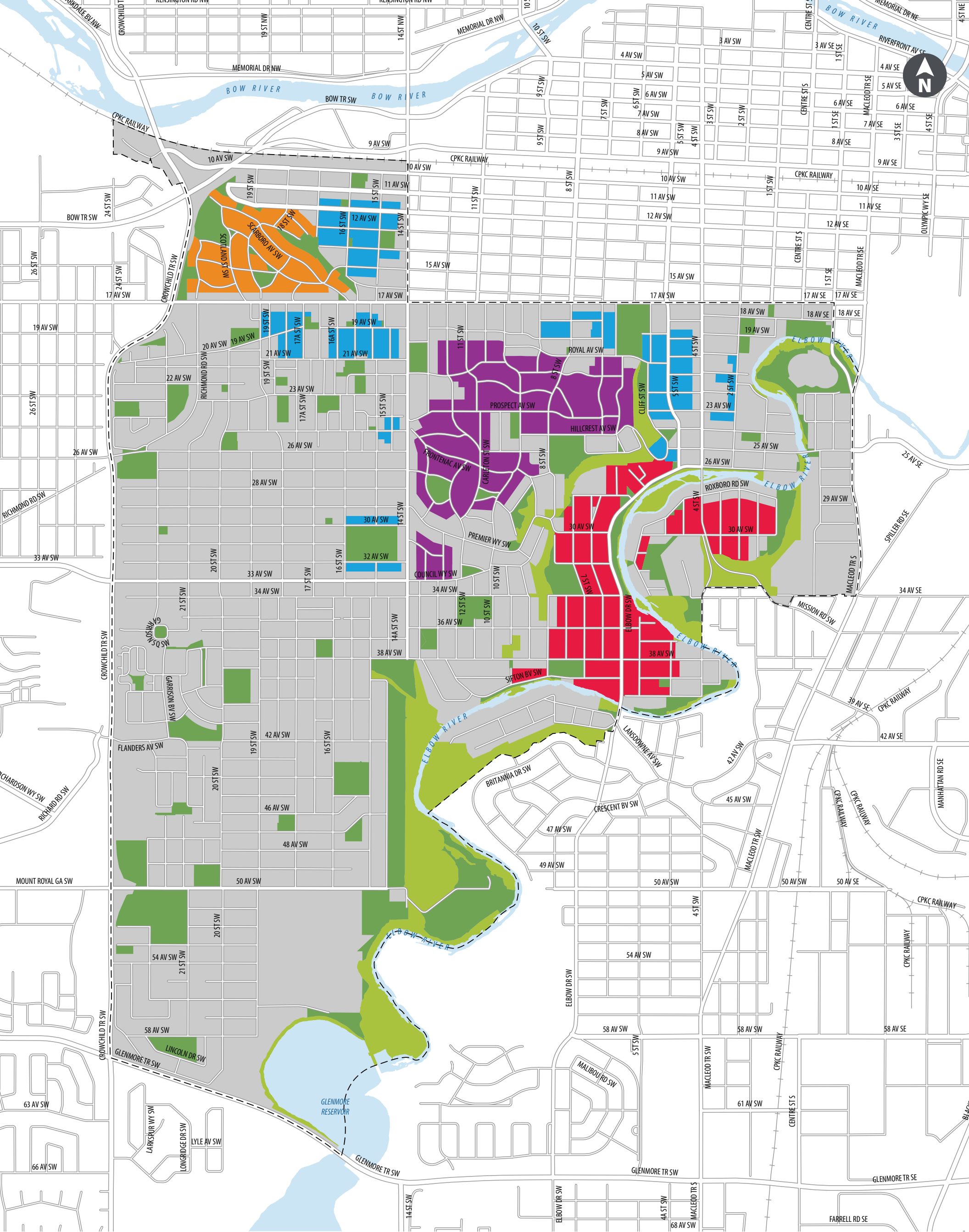
Four distinct precincts have been developed and include a community or group of communities that represent similar types of residential **heritage assets** and development patterns. The precincts are identified on Map 5. For more information about the history of each community, please see Appendix D: Additional Historical Information.

Where multi-residential development is supported in the Local Area Plan, specific multi-residential guidelines apply to parcels within Heritage Guideline Areas expected to experience future growth. These guidelines incorporate design elements that will allow multi-residential redevelopment that contributes to and enhances the historic character of the Heritage Guideline Areas.

### Policy

#### General

- a. Land use redesignations that would allow for development with permitted use dwelling units should not be supported in Heritage Guideline Areas.
- b. Development should draw design references from nearby **heritage assets** within the applicable Heritage Guideline Areas, without directly mimicking historic styles.
- c. Redevelopment in Heritage Guideline Areas should allow for densities equal to or greater than that of existing developments.
- d. There are general policies that apply in all communities and policy that applies to each precinct. In the case of a conflict, the precinct specific policy shall apply.
- e. There are general policies that apply in all communities and policy that applies to multi-residential development. In the case of a conflict, the multi-residential specific policy shall apply.



Map 5: Heritage Guideline Areas

- Legend**

  - Precinct 1
  - Precinct 2
  - Precinct 3
  - Precinct 4
  - Natural Areas
  - Parks and Open Space
  - Plan Area Boundary



## Site and Landscape Design

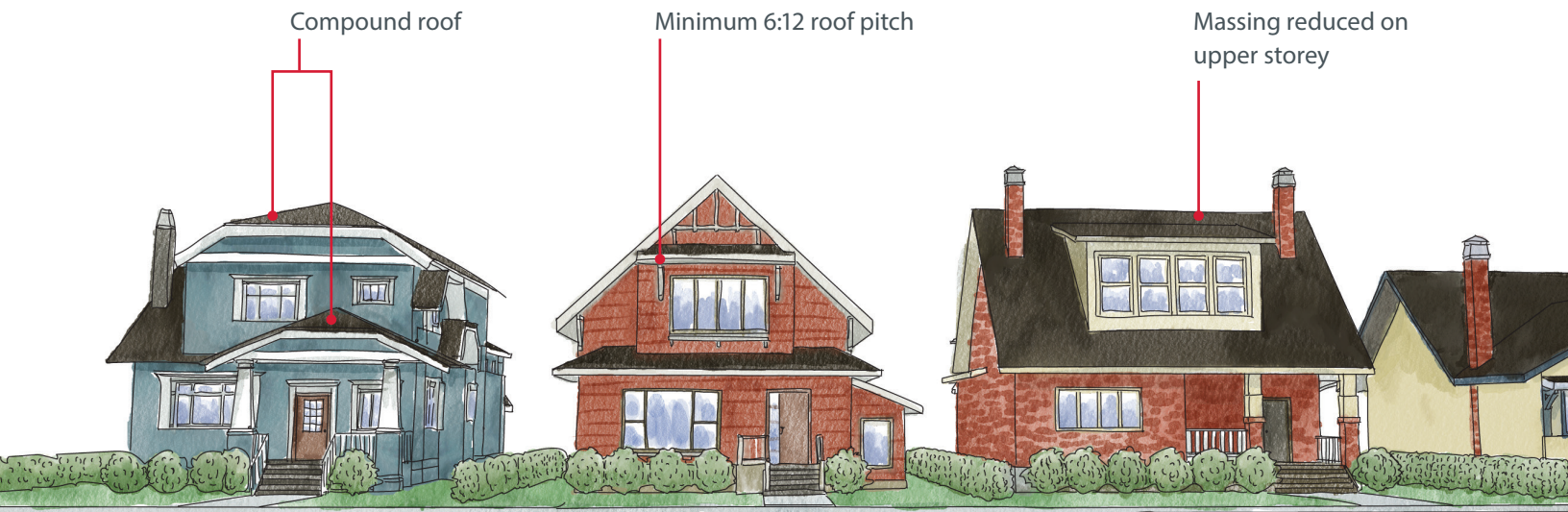
- f.** Notwithstanding the minimum setback in The City's **land use bylaw**:
  - i.** front yard setbacks should be informed by the existing **heritage assets** on the block; and,
  - ii.** where existing front yard setbacks on the block face are generally consistent (meaning the front yard setback for development on the block is generally aligned), the front setback for new development should not be less than the smallest existing front setback of existing **heritage assets** on the block face.
- g.** Development should provide well-defined and direct pathway connections from front doors to the sidewalk and **public space**.
- h.** Where a public boulevard with canopy trees is not present, landscaping should include at least one deciduous tree in the front setback area or within the boulevard, where feasible, that will contribute to a mature tree canopy.
- i.** Relaxation of The City's **land use bylaw** landscaping requirements may be considered in the front setback where two mature trees are retained in the front yard or boulevard.
- j.** Front setbacks should be soft landscaped, and the use of hard landscaping is discouraged.
- k.** Synthetic landscaping material is strongly discouraged.
- l.** Where no rear lane access for garage or on-site parking exists:
  - i.** a narrow side driveway to the rear of the lot is encouraged;
  - ii.** a detached garage should be located primarily behind the front building façade;
  - iii.** an attached garage should not project beyond the main building façade; and,
  - iv.** a drive-under garage should:
    - (1)** only be allowed where the parcel is too shallow, too narrow, or where existing grades are too steep to accommodate a detached side or rear garage; and,
    - (2)** not project beyond the main building façade.



Example of landscaping and front setbacks

## Roofs and Massing

- m.** Roof styles should be informed by and complement the **heritage assets** in the area. The design should:
  - i.** incorporate a roof profile informed by the existing **heritage assets** on the block with a strong emphasis on visual continuity along the street;
  - ii.** have a minimum primary roof pitch of 6:12;
  - iii.** have a minimum primary roof pitch of 4:12 when **heritage assets** in the Heritage Guideline Area have a similar roof pitch or form;
  - iv.** where visible from the street, flat roofs or **contemporary asymmetrical roof pitches** are strongly discouraged.
- n.** Decks above the main floor are encouraged to be incorporated into the roofline or recessed into the facade to diminish their visual impact.
- o.** Foundation height is encouraged to conform to the foundation height of existing **heritage assets** on the block.
- p.** Buildings with a front facade width exceeding 12 metres or a height exceeding two storeys are encouraged to mitigate their visual impact through variations in:
  - i.** massing;
  - ii.** rooflines; or,
  - iii.** materials.
- q.** Where new development is larger than nearby **heritage assets**, the visual impact of upper storeys of buildings, visible from the street, should be reduced by employing design measures such as:
  - i.** the use of **compound roofs** (e.g., cross-gabled or combination roof pitches) to hide the upper storey;
  - ii.** shifting massing away from smaller-scale buildings; or,
  - iii.** reduced building massing on upper storeys.
- r.** Developments with more than one unit should have distinct rooflines that accentuate individual units.



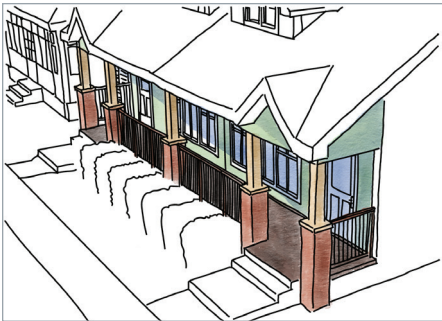
Example of roofs and massing within a Heritage Guideline Area



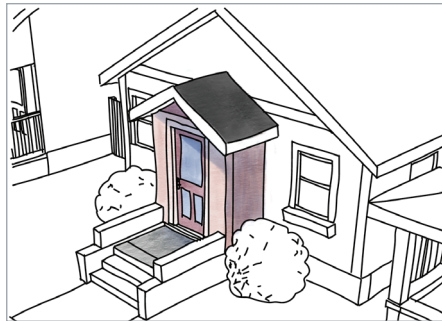
## Front Façade

- s. Development should be designed to provide a front projection on the main floor that may be covered or enclosed, and that comprises at least a third of the width of the front main floor façade for each unit visible from the street. This front projection could include elements such as:
  - i. porches;
  - ii. patios;
  - iii. verandas;
  - iv. sunrooms; or,
  - v. bay windows.
- t. Front façade should reference the vertical and horizontal pattern of the streetscape, maintaining the proportions, and depth of existing **heritage assets** on the block.
- u. Front projections beyond the building's main façade should include a roof informed by the existing **heritage assets** on the block and integrated into the overall building design.

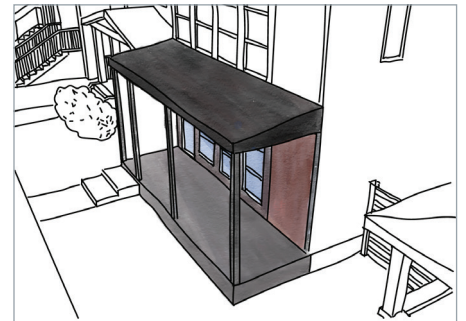
### Examples of front projections



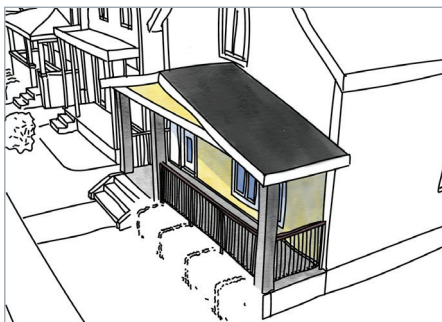
Full width verandah



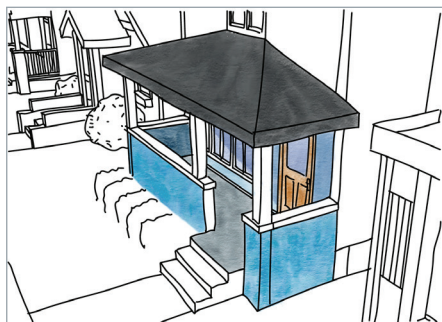
Enclosed entryway



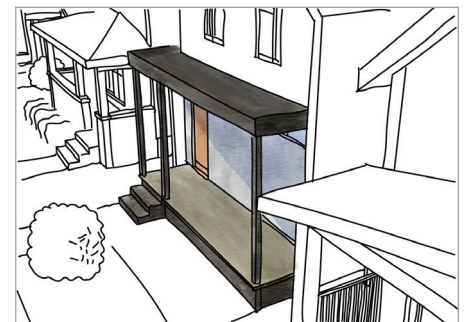
Shed verandah



Gable verandah



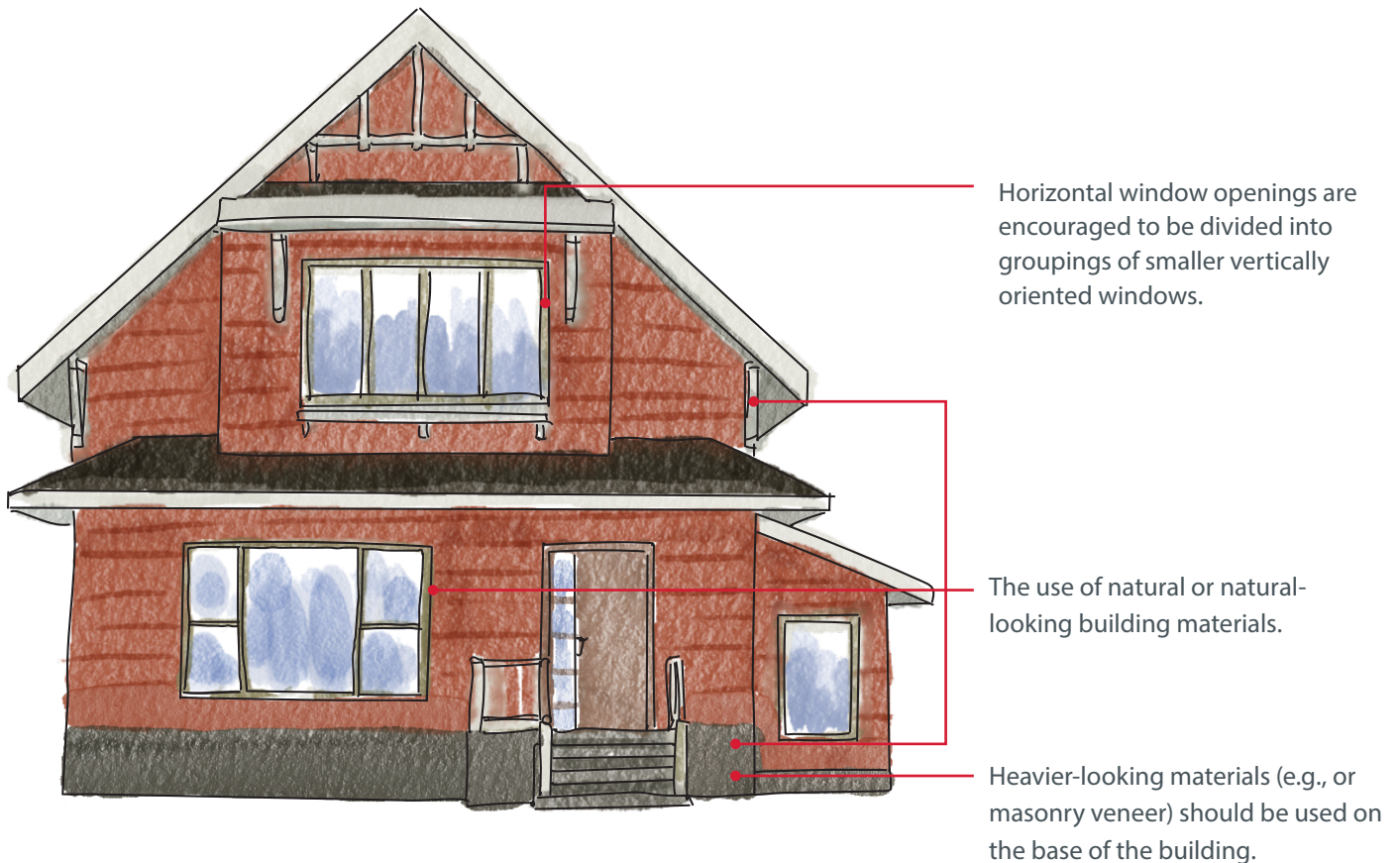
Hipped verandah



Flat verandah

## Windows, Materials, and Details

- v. Windows patterns should be informed by the existing **heritage assets** in the area and:
  - i. large uninterrupted floor-to-ceiling windows are discouraged; and,
  - ii. horizontal window openings are encouraged to be divided into groupings of smaller vertically oriented windows.
- w. The use of natural or natural-looking building materials (e.g, masonry, wood, or wood-pattern cement board) is encouraged.
- x. Where multiple building materials are used, heavier-looking materials (e.g., masonry or masonry veneer) should be used on the base of the building.
- y. The use of vinyl siding is strongly discouraged.



Example of windows, materials, and details



## 2.6.2.1 Precincts

The following policies apply to individual precincts and are in addition to the above policies. In the case of a conflict, the following policy should apply.

### Precinct 1 (Elbow Park, Rideau Park, Roxboro)

- a. Decks above the main floor may project beyond the main façade of the building.



Example of development in Precinct 1

### Precinct 2 (Cliff Bungalow, Lower Mount Royal, Mission, Sunalta, Bankview, South Calgary)

- b. Decks above the main floor may project beyond the main façade of the building.



Example of development in Precinct 2



### Precinct 3 (Upper Mount Royal)

- c. Flat roofs may be considered where development in the Heritage Guideline Area has a similar roof form.
- d. Front projections beyond the main facade of the building are encouraged but not required.



Example of development in Precinct 3

### Precinct 4 (Scarboro)

- e. Soft landscaping and mature trees are strongly encouraged in the front, side, and rear setbacks.
- f. The primary roof visible from the street should have a minimum pitch of 7:12 that is informed by and complements the **heritage assets** in the area.
- g. Windows should reference the vertical and horizontal pattern of the streetscape, maintaining the proportions of existing **heritage assets** on the block.
- h. Units that face the street should provide front entrances that are visible from and oriented toward the street.



Example of development in Precinct 4

## 2.6.2.2 Multi-residential Policy

The following policies apply to multi-residential development and are in addition to the above policies. In the case of a conflict, the following policy should apply.

### Site and Landscape Design

- a. Development should provide well-defined and direct pathway connections from entrances on the main floor to the sidewalk and **public space**.
- b. Where no rear lane access for garages or on-site parking exists, entrances for enclosed parking should not project beyond the main building façade.



Example of multi-residential development with parking access from street



## Roofs and Massing

- c. To reduce visual impact where new development exceeds three storeys in height, the **street wall** should include design elements such as:
  - i. a well detailed and prominent cornice line with a stepback above the third storey; or,
  - ii. a mansard or pitched roof above the third storey.
- d. The height of the **street wall** should be a maximum of three storeys with a minimum 2.0 meter stepback beyond the third storey.



Example of multi-residential development roof and massing

## Front Façade

- e. To create a varied **street wall** profile and avoid long uninterrupted building frontages, **street walls** should:
  - i. be separated into distinct vertical sections, to a maximum of 8.0 metres in width, incorporating a well-defined rhythm of architectural design elements consistent with **heritage assets** in the area, such as: colour, changes in materials, and projections, which may include bay windows; and,
  - ii. extend from the ground to the top of the **street wall**.
- f. To activate the street, design elements such as porches and patios should be included at the main floor.
- g. **Pedestrian** entrances should be discernable from the **street wall** employing design elements such as:
  - i. projections;
  - ii. articulation;
  - iii. rooflines; or,
  - iv. changes in materials.



Example of multi-residential development front façades