

WESTCREST SUNALTA

DEVELOPMENT PERMIT SUBMISSION

OCTOBER 13, 2023

DRAWING LIST:

DP.000	COVER
DP.001	SITE DETAILS
DP.002	BLOCK PLAN
DP.100	SITE PLAN
DP.101	FLOOR PLANS
DP.102	UNIT PLANS, TYP.
DP.103	UNIT PLANS, TYP.
DP.200	ELEVATIONS [BUILDING "A"]
DP.201	ELEVATIONS [BUILDING "B"]
DP.202	ELEVATIONS [BUILDING "C"]
DP.203	ELEVATIONS [BUILDING "D"]
DP.204	ELEVATIONS [BICYCLE STORAGE, WASTE ENCLOSURE]
DP.300	BUILDING SECTIONS
L.100	LANDSCAPE PLAN
S.100	SITE SURVEY



PROJECT INFORMATION

PARCEL ADDRESS:

LEGAL:	LOTS 11-17, BLOCK 218, PLAN 5380V
MUNICIPAL:	#1707, 1709, 1711, 1713, 1717 12 AVENUE SW CALGARY AB
COMMUNITY:	SUNALTA
ZONING:	
CURRENT:	M-CGd111
PROPOSED:	M-C2

PROPOSED GROSS BUILDING AREA

BUILDING NUMBER	FLOOR LEVEL [HIGHEST UNIT]	AREA [SQ.M.]	AREA [SQ.FT.]
BUILDING "A"	T/O MAIN FLOOR = 1052.92	218.0	2346
BUILDING "A"	T/O LEVEL TWO = 1055.97	230.0	2476
BUILDING "A"	T/O LEVEL THREE = 1059.01	230.0	2476
BUILDING "A"	T/O ROOFTOP AMENITY= 1062.05	13.0	140
BUILDING "B"	T/O MAIN FLOOR = 1052.92	218.0	2346
BUILDING "B"	T/O LEVEL TWO = 1055.97	230.0	2476
BUILDING "B"	T/O LEVEL THREE = 1059.01	230.0	2476
BUILDING "B"	T/O ROOFTOP AMENITY= 1062.05	13.0	140
BUILDING "C"	T/O MAIN FLOOR = 1052.92	218.0	2346
BUILDING "C"	T/O LEVEL TWO = 1055.97	230.0	2476
BUILDING "C"	T/O LEVEL THREE = 1059.01	230.0	2476
BUILDING "C"	T/O ROOFTOP AMENITY= 1062.05	13.0	140
BUILDING "D"	T/O MAIN FLOOR = 1052.92	218.0	2346
BUILDING "D"	T/O LEVEL TWO = 1055.97	230.0	2476
BUILDING "D"	T/O LEVEL THREE = 1059.01	230.0	2476
BUILDING "D"	T/O ROOFTOP AMENITY= 1062.05	13.0	140
CLASS 1 BICYCLE STORAGE	T/O MAIN FLOOR = 1052.75	40.7	438
WASTE ENCLOSURE	T/O MAIN FLOOR = 1052.67	19.5	210
TOTAL		2772.2	30400

DENSITY:

PARCEL AREA:	2,111.31 SQ.M. (22,726 SQ.FT.)
PROPOSED DENSITY:	228 UNITS/ha
PROPOSED F.A.R.:	1.313
TOTAL PROPOSED UNITS:	48 DWELLING UNITS

SETBACKS:

	PERMITTED	PROPOSED
NORTH (12 AVE SW)	3.0m	3.0m
EAST (M-CGd111)	0.0m	1.2m
SOUTH (REAR LANE)	1.2m	1.2m
WEST (M-CGd111)	0.0m	1.2m

AMENITY SPACE:

MINIMUM REQUIRED :	240 SQ.M. TOTAL (5 SQ.M. / DWELLING UNIT) 2,584 SQ.FT.
PROPOSED:	PRIVATE AMENITY SPACES: 7.7 SQ.M (83 SQ.FT) PER UNIT x 16 UNITS SHARED AMENITY SPACE: 223.62 SQ.M. (2,407 SQ.FT.)

VEHICULAR PARKING:

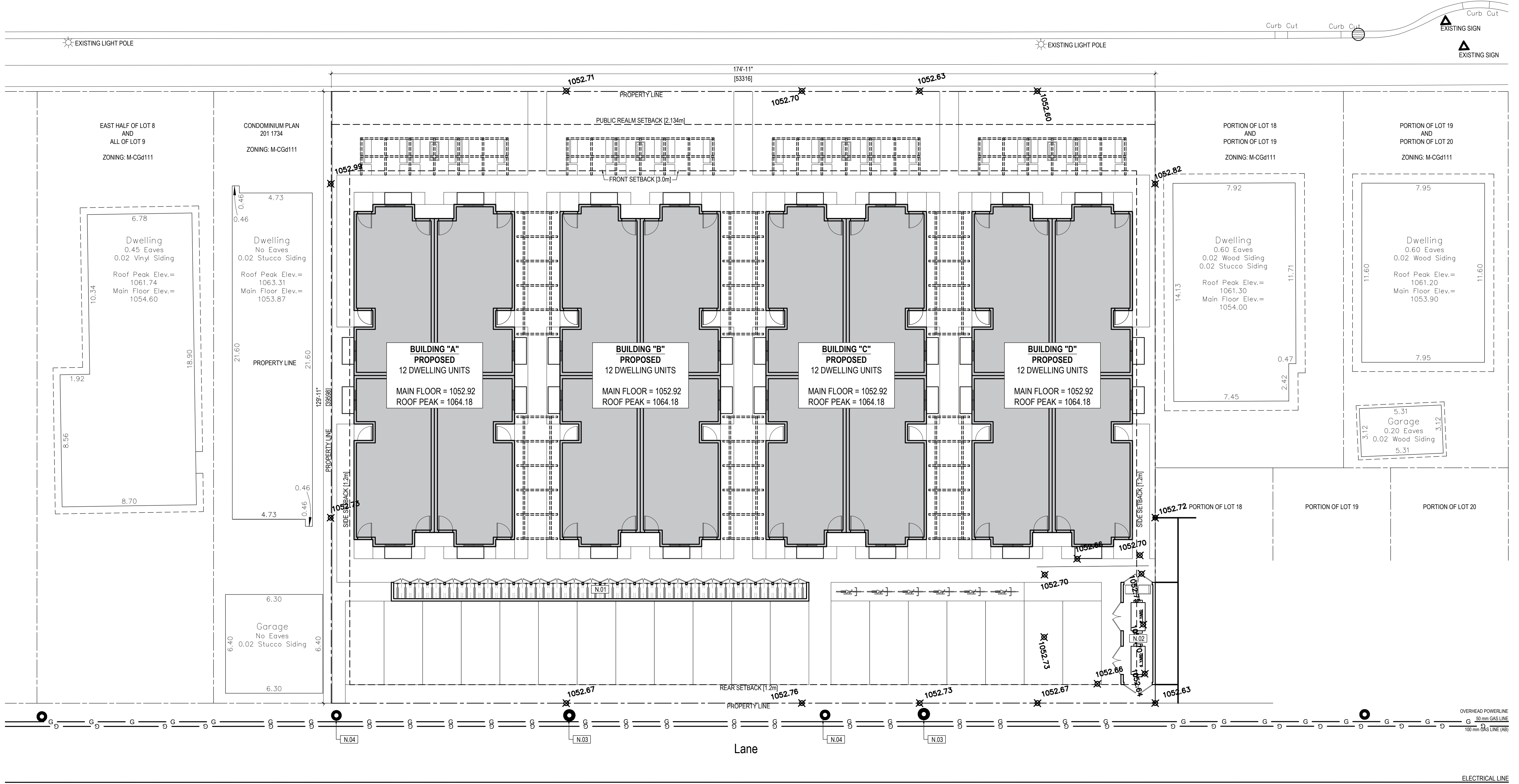
VEHICLE PARKING REQUIREMENT PER MC-2 BYLAW	
MIN. 0.625 VEHICLE STALLS / UNIT	= 30 STALLS
- 25% REDUCTION FOR TRANSIT SUPPORTIVE MULTI-RESIDENTIAL DEVELOPMENT:	= 22.5 STALLS REQUIRED
TOTAL VEHICULAR STALLS PROVIDED	= 19 STALLS PROPOSED [SEEKING PARKING RELAXATION]

BICYCLE PARKING:

BICYCLE PARKING REQUIREMENT PER MC-2 BYLAW:	
CLASS 1: 1 BICYCLE STALLS / UNIT	= 48 STALLS
CLASS 2: 0.1 BICYCLE STALLS / UNIT	= 5 STALLS
TOTAL BICYCLE STALLS PROVIDED:	= 48 STALLS [CLASS 1] = 5 STALLS [CLASS 2]



FORMED ALLIANCE ARCHITECTURE STUDIO



1 BLOCK PLAN
DP.002 3/32" = 1'-0"

SHEET NOTES

- N.01 CLASS 1 BICYCLE STORAGE (PROPOSED)
- N.02 WASTE & RECYCLING ENCLOSURE (PROPOSED)
- N.03 EXISTING POWER POLE TO BE RELOCATED
- N.04 PROPOSED LOCATION OF POWER POLE

GENERAL NOTES

- A. ALL EXISTING STRUCTURES, RETAINING WALLS, AND LANDSCAPING TO BE REMOVED WITHIN COMBINED DEVELOPMENT PARCELS.
- B. REFER TO SURVEY PLAN FOR GEODETIC ELEVATIONS ADJACENT TO DEVELOPMENT PERIMETER.
- C. ALL SITE REHABILITATION OF SIDEWALKS, BUS ZONE APRONS, AND PAVED LANES ARE TO BE COMPLETED AT THE OWNER'S EXPENSE.



RELEASES

NO.	DESCRIPTION	DATE

01 ISSUED FOR DP 10/13/2023
PROJECT NAME

WESTCREST
SUNALTA

MARKET ADDRESS
1717, 1713, 1711, 1709, 1707 - 12 AVENUE SW

LEGAL ADDRESS
L: 11-17 B: 218 P: 5380V

PROJECT NO.
21.51.WC_1709

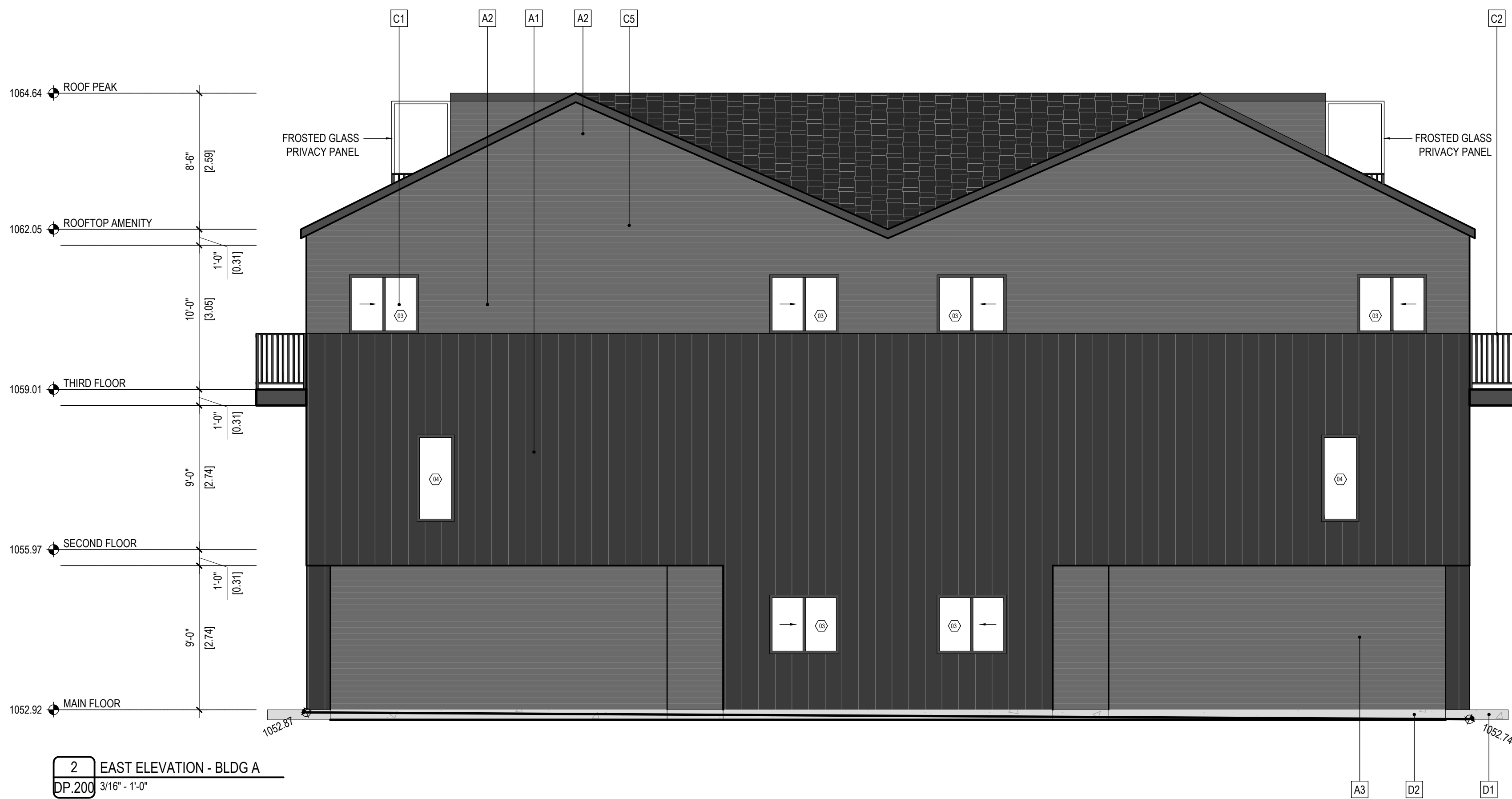
DATE
OCT.13.2023

DRAWING TITLE
BLOCK PLAN

DRAWING NUMBER
BLOCK PLAN

DP.002

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.

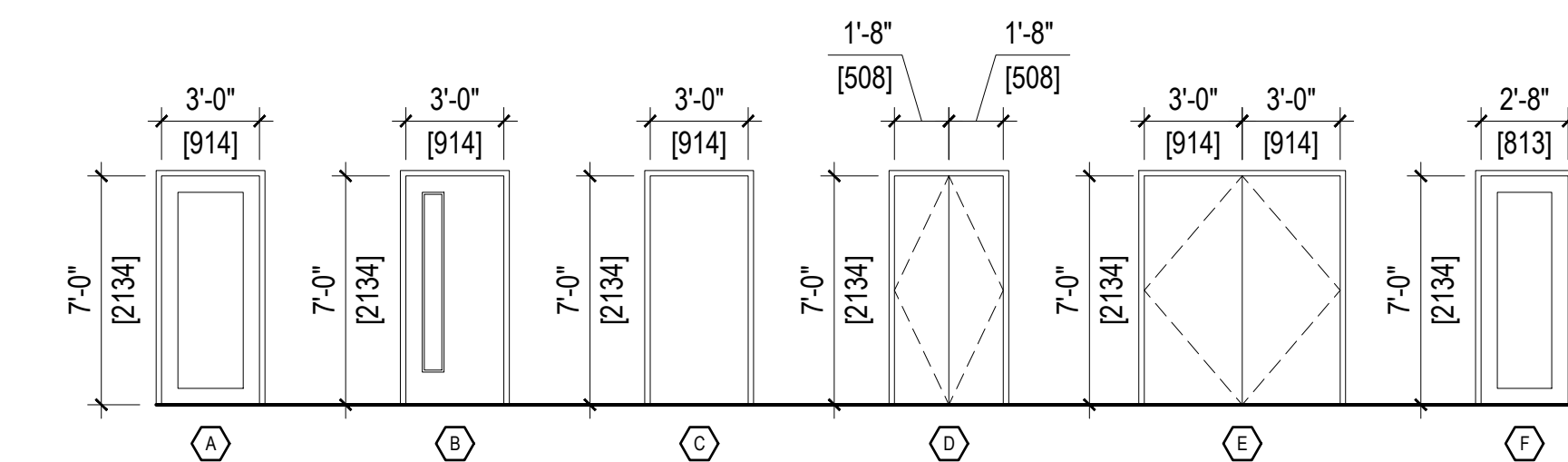


EXTERIOR FINISHES LEGEND

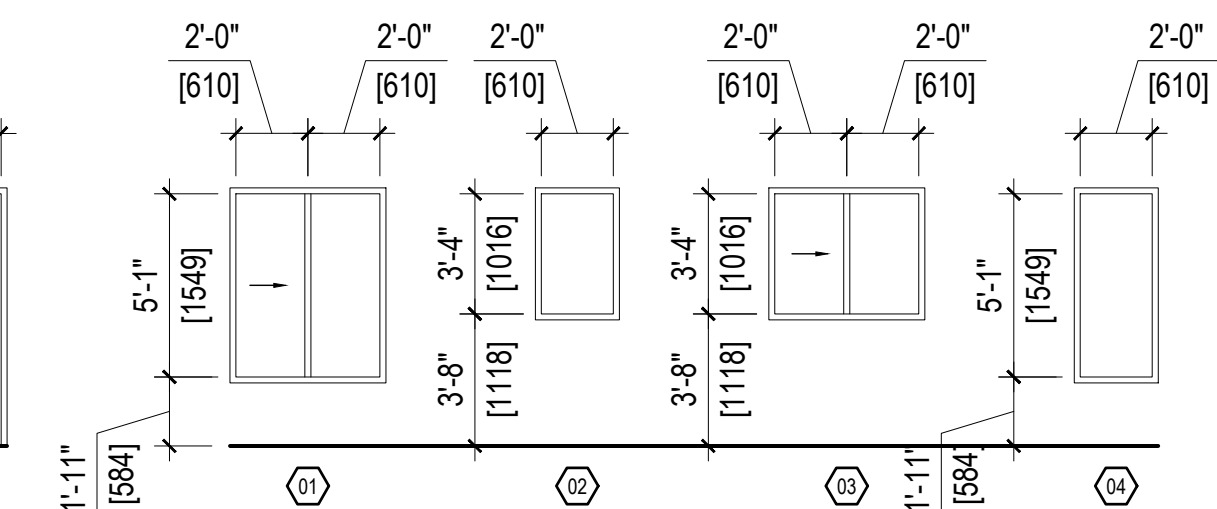
- | | | |
|---|---|---|
| A - FIBER CEMENT | C - METAL | D - CONCRETE |
| A1 HARDIE-PANEL: BOARD & BATTEN VERTICAL SIDING; COLOUR TO MATCH: BENJAMIN MOORE HC-190 "BLACK" | C1 METAL FRAME, WINDOW, COLOUR: BLACK | D1 PRE-CAST CONCRETE STAIRS |
| A2 HARDIE-PLANK: LAP SIDING; COLOUR: "IRON GRAY" | C2 METAL RAILING, COLOUR: BLACK | D2 PAVING |
| A3 HARDIE-PANEL: VERTICAL SIDING; COLOUR TO MATCH: BENJAMIN MOORE OC-66 "SNOW WHITE" | C3 PRE-FINISHED METAL CAP FLASHING; COLOUR: BLACK | E - DOORS |
| B - ROOFING | C4 METAL PANEL; COLOUR: BLACK | E1 SWING DOOR W/ GLASS LITE; COLOUR TO MATCH: BENJAMIN MOORE HC-190 "BLACK" |
| B1 ASPHALT SHINGLES ROOFING; COLOUR: BLACK | C5 METAL FASCIA; COLOUR: BLACK | E2 SWING DOOR; COLOUR TO MATCH: BENJAMIN MOORE HC-190 "BLACK" |

SHEET NOTES

- ⊕ EXISTING GEODETIC ELEVATION
- ⊗ PROPOSED GEODETIC ELEVATION



5 DOOR SCHEDULE
DP.200 3/16" - 1'-0"



6 WINDOW SCHEDULE
DP.200 3/16" - 1'-0"



RELEASES

NO.	DESCRIPTION	DATE
01	ISSUED FOR DP	10.13.2023

PROJECT NAME

WESTCREST SUNALTA

MARCH/AUGUST ADDRESS

1717, 1713, 1711, 1709, 1707 - 12 AVENUE SW

LEGAL ADDRESS

L: 11-17 B: 218 P: 5380V

PROJECT NO.

21.51.WC.1709

DRAWN

WT

DATE

OCT.13.2023

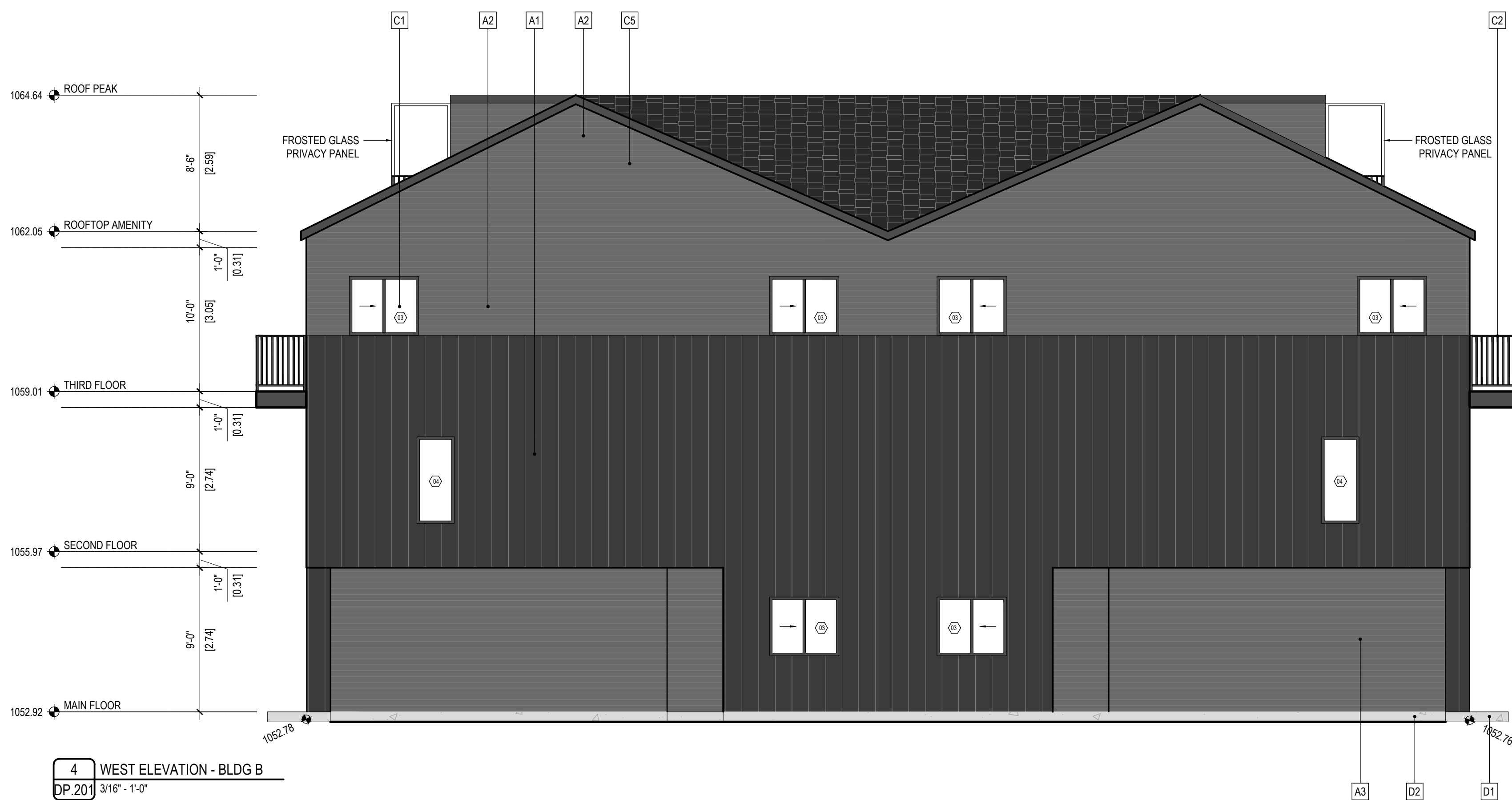
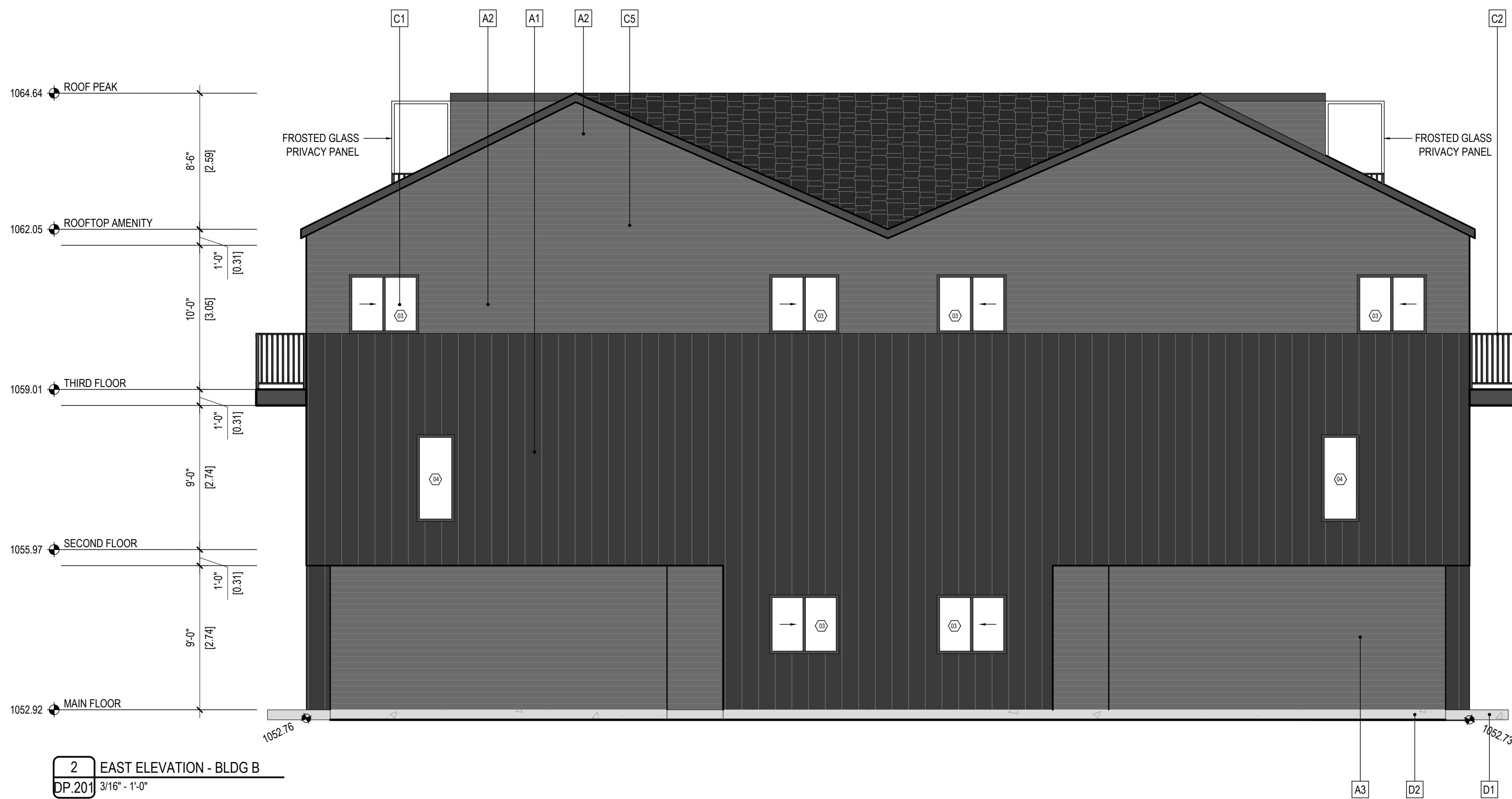
DRAWING TITLE

BUILDING ELEVATIONS
[BUILDING A]

DRAWING NUMBER

DP.200

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.



EXTERIOR FINISHES LEGEND

A - FIBER CEMENT

A1 HARDIE-PANEL: BOARD & BATTEN VERTICAL SIDING; COLOUR TO MATCH: BENJAMIN MOORE HC-190 "BLACK"

A2 HARDIE-PLANK: LAP SIDING; COLOUR: "IRON GRAY"

A3 HARDIE-PANEL: VERTICAL SIDING; COLOUR TO MATCH: BENJAMIN MOORE OC-66 "SNOW WHITE"

B - ROOFING

B1 ASPHALT SHINGLES ROOFING; COLOUR: BLACK

C - METAL

C1 METAL FRAME, WINDOW, COLOUR: BLACK

C2 METAL RAILING, COLOUR: BLACK

C3 PRE-FINISHED METAL CAP FLASHING; COLOUR: BLACK

C4 METAL PANEL; COLOUR: BLACK

C5 METAL FASCIA; COLOUR: BLACK

D - CONCRETE

D1 PRE-CAST CONCRETE STAIRS

D2 PAVING

E - DOORS

E1 SWING DOOR W/ GLASS LITE; COLOUR TO MATCH: BENJAMIN MOORE HC-190 "BLACK"

E2 SWING DOOR; COLOUR TO MATCH: BENJAMIN MOORE HC-190 "BLACK"

SHEET NOTES

⊕ EXISTING GEODETTIC ELEVATION

⊗ PROPOSED GEODETTIC ELEVATION



RELEASES

NO.	DESCRIPTION	DATE
01	ISSUED FOR DP	10/13/2023

PROJECT NAME

WESTCREST SUNALTA

MANUFACTURE ADDRESS
1717, 1713, 1711, 1709, 1707 - 12 AVENUE SW

LEGAL ADDRESS
L: 11-17 B: 218 P: 5380V

PROJECT NO.
21.51.WC.1709

DRAWN
WT

CHECKED
MF

DAYS
OCT.13.2023

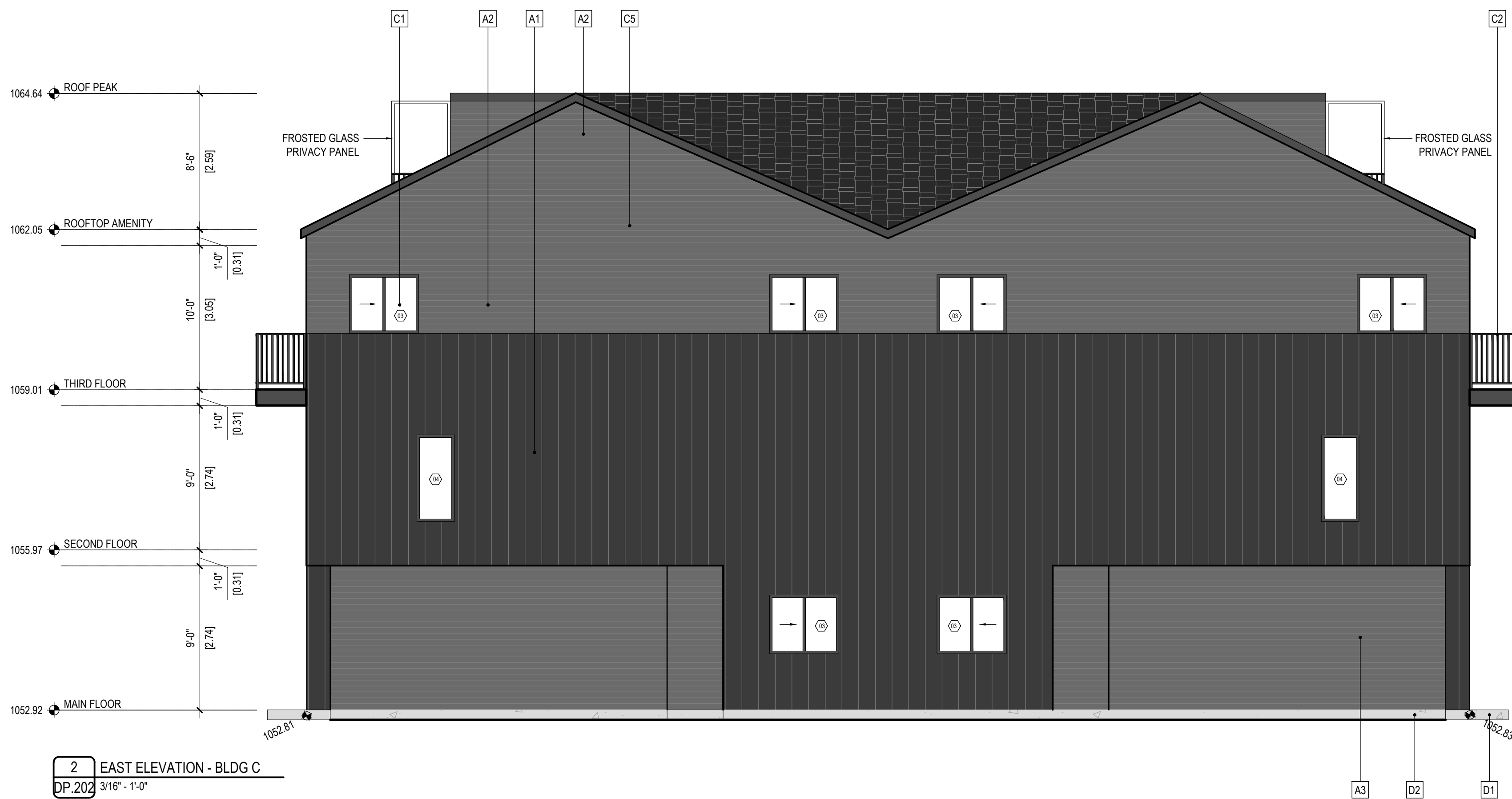
SCALE
AS NOTED

DRAWING TITLE
BUILDING ELEVATIONS [BUILDING B]

DRAWING NUMBER

DP.201

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT



EXTERIOR FINISHES LEGEND

A - FIBER CEMENT

- A1 HARDIE-PANEL; BOARD & BATTEN VERTICAL SIDING; COLOUR TO MATCH: BENJAMIN MOORE HC-190 "BLACK"
- A2 HARDIE-PLANK; LAP SIDING; COLOUR: "IRON GRAY"
- A3 HARDIE-PANEL; VERTICAL SIDING; COLOUR TO MATCH: BENJAMIN MOORE OC-66 "SNOW WHITE"

B - ROOFING

- B1 ASPHALT SHINGLES ROOFING; COLOUR: BLACK

C - METAL

- C1 METAL FRAME, WINDOW, COLOUR: BLACK
- C2 METAL RAILING, COLOUR: BLACK
- C3 PRE-FINISHED METAL CAP FLASHING; COLOUR: BLACK
- C4 METAL PANEL; COLOUR: BLACK
- C5 METAL FASCIA; COLOUR: BLACK

D - CONCRETE

- D1 PRE-CAST CONCRETE STAIRS
- D2 PARGING

E - DOORS

- E1 SWING DOOR W/ GLASS LITE; COLOUR TO MATCH: BENJAMIN MOORE HC-190 "BLACK"
- E2 SWING DOOR; COLOUR TO MATCH: BENJAMIN MOORE HC-190 "BLACK"

SHEET NOTES

- ⊕ EXISTING GEODETTIC ELEVATION
- ⊗ PROPOSED GEODETTIC ELEVATION



RELEASES

NO.	DESCRIPTION	DATE
01	ISSUED FOR DP	10/13/2023

WESTCREST SUNALTA

MANUFACTURE ADDRESS
1717, 1713, 1711, 1709, 1707 - 12 AVENUE SW

LEGAL ADDRESS
L: 11-17 B: 218 P: 5380V

PROJECT NO.
21.51.WC_1709

DATE
OCT.13.2023

DRAWING TITLE
BUILDING ELEVATIONS [BUILDING C]

DRAWING NUMBER

SCALE
AS NOTED

PROJECT NAME

PROJECT NO.

DATE

DRAWING TITLE

DRAWING NUMBER

SCALE

PROJECT NAME

PROJECT NO.

DATE

DRAWING TITLE

DRAWING NUMBER

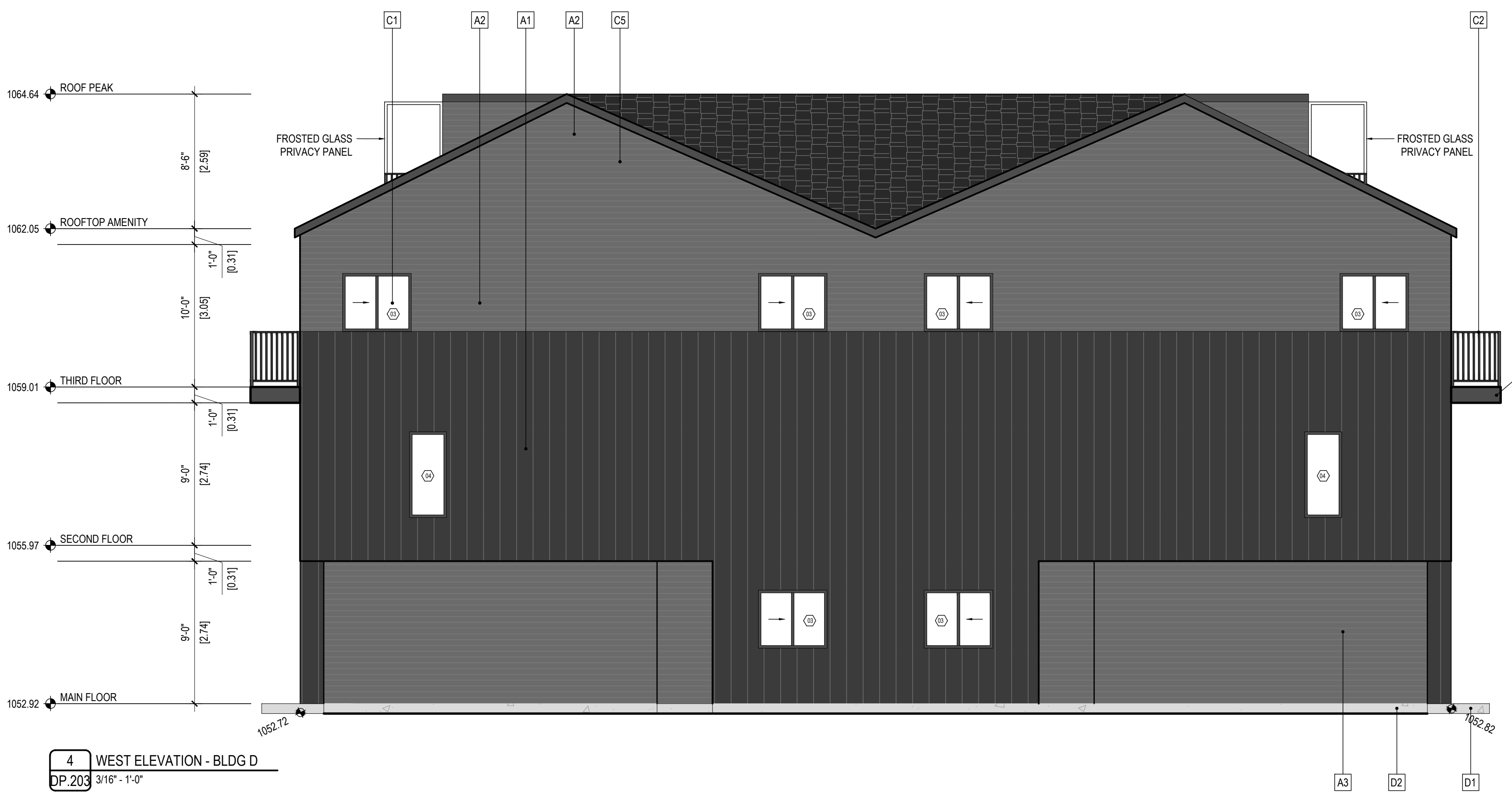
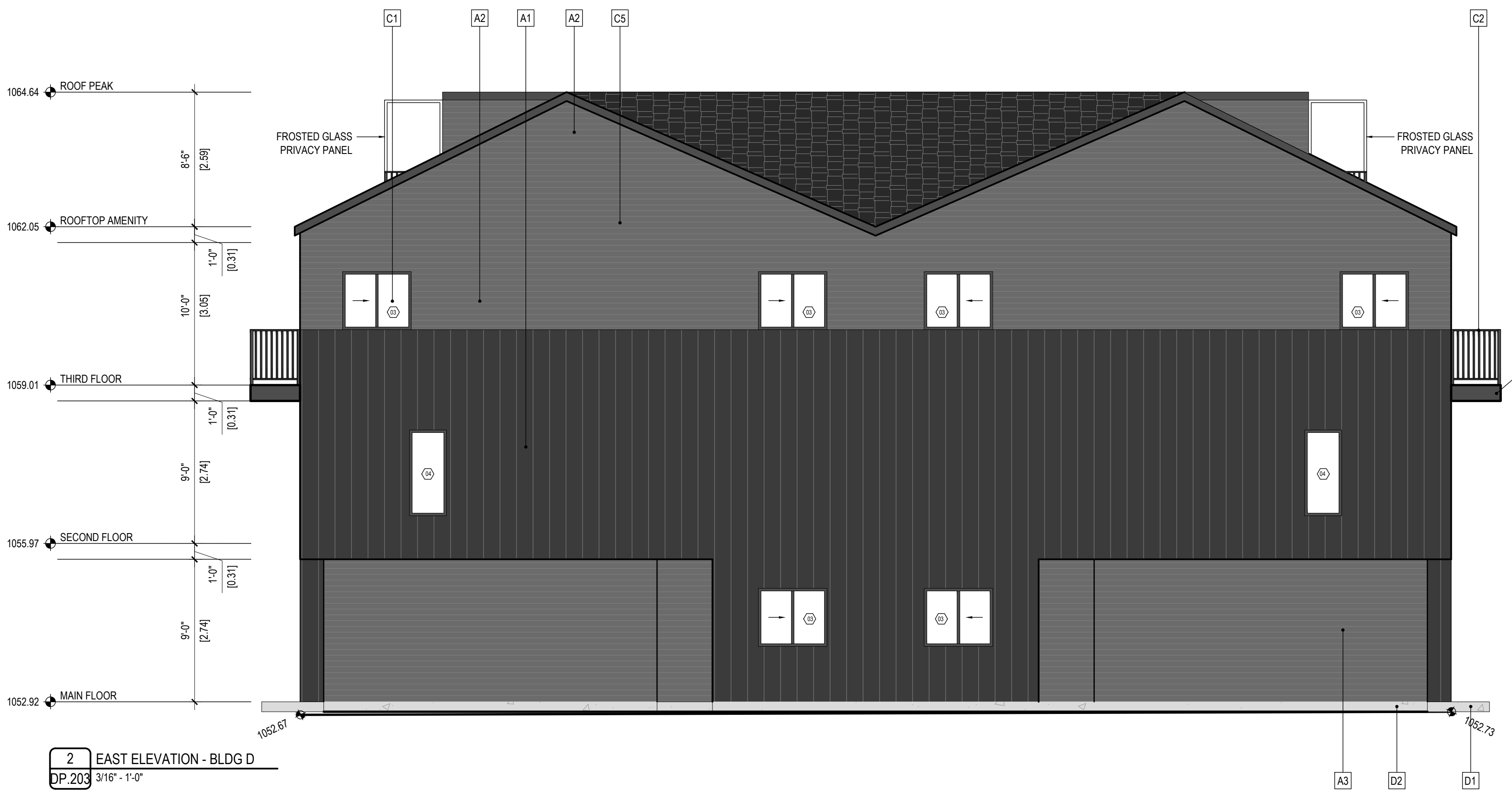
SCALE

PROJECT NAME

PROJECT NO.

DP.202

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT



EXTERIOR FINISHES LEGEND

A - FIBER CEMENT

- A1 HARDIE-PANEL; BOARD & BATTEN VERTICAL SIDING; COLOUR TO MATCH: BENJAMIN MOORE HC-190 "BLACK"
- A2 HARDIE-PLANK; LAP SIDING; COLOUR: "IRON GRAY"
- A3 HARDIE-PANEL; VERTICAL SIDING; COLOUR TO MATCH: BENJAMIN MOORE OC-66 "SNOW WHITE"

B - ROOFING

- B1 ASPHALT SHINGLES ROOFING; COLOUR: BLACK

C - METAL

- C1 METAL FRAME, WINDOW, COLOUR: BLACK
- C2 METAL RAILING, COLOUR: BLACK
- C3 PRE-FINISHED METAL CAP FLASHING; COLOUR: BLACK
- C4 METAL PANEL; COLOUR: BLACK
- C5 METAL FASCIA; COLOUR: BLACK

D - CONCRETE

- D1 PRE-CAST CONCRETE STAIRS
- D2 PARGING

E - DOORS

- E1 SWING DOOR W/ GLASS LITE; COLOUR TO MATCH: BENJAMIN MOORE HC-190 "BLACK"
- E2 SWING DOOR; COLOUR TO MATCH: BENJAMIN MOORE HC-190 "BLACK"

SHEET NOTES

- ⊕ EXISTING GEODETTIC ELEVATION
- ✖ PROPOSED GEODETTIC ELEVATION



RELEASES

NO.	DESCRIPTION	DATE

01 ISSUED FOR DP 10/13/2023
PROJECT NAME

WESTCREST SUNALTA
MANUFACTURE ADDRESS
1717, 1713, 1711, 1709, 1707 - 12 AVENUE SW
LEGAL ADDRESS
L: 11-17 B: 218 P: 5380V
PROJECT NO:
21.51.WC_1709

DRAWN CHECKED
WT MF
DATE SCALE
OCT.13.2023 AS NOTED

DRAWING TITLE
BUILDING ELEVATIONS [BUILDING D]

DRAWING NUMBER

DP.203

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT

12 AVENUE SW

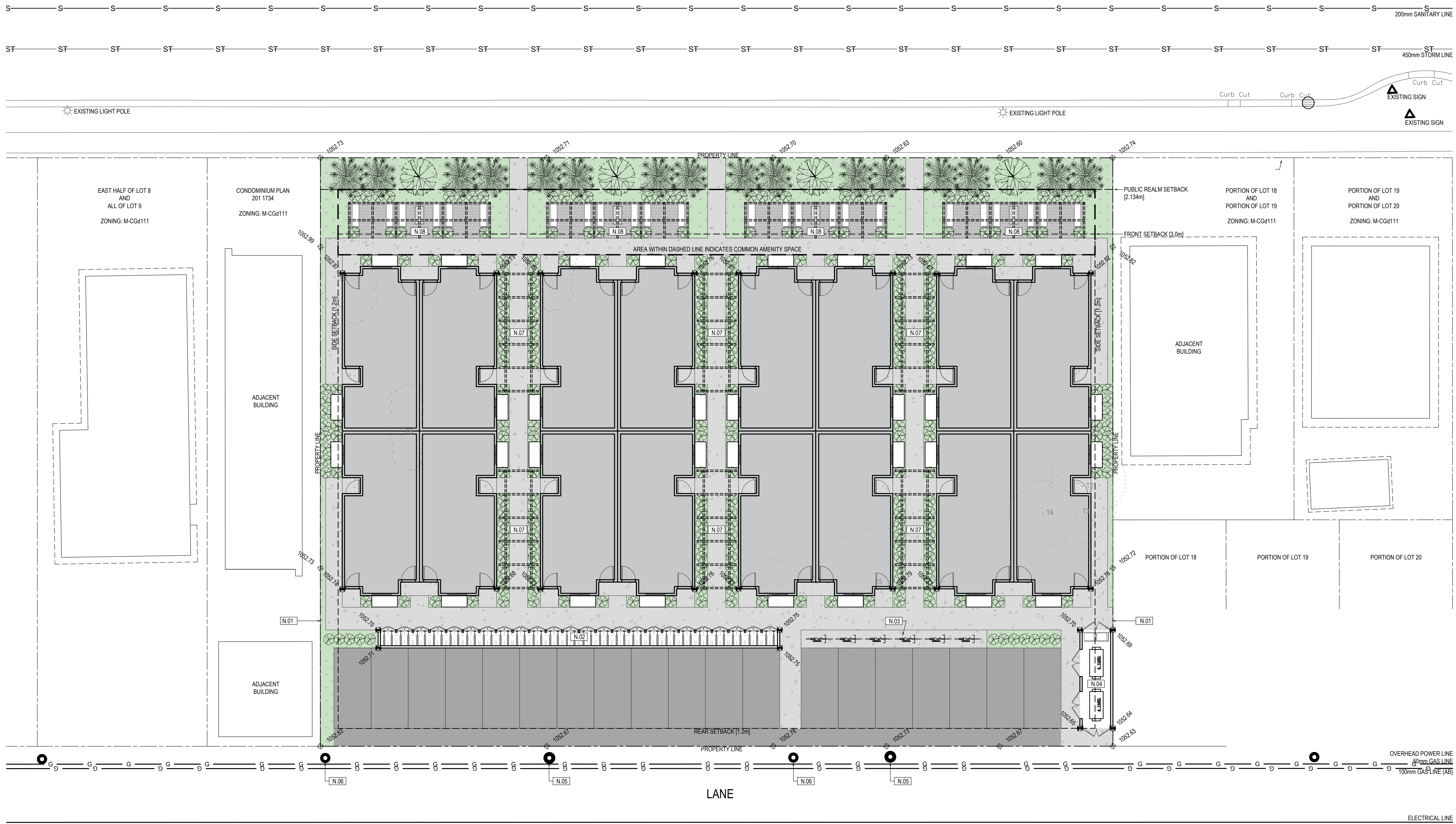
150mm WATER LINE

200mm SANITARY LINE

450mm STORM LINE



FORMED ALLIANCE ARCHITECTURE STUDIO



RELEASES

NO.	DESCRIPTION	DATE
01	ISSUED FOR DP	10/13/2023

WESTCREST SUNALTA

MANUFACTURE ADDRESS
1717, 1713, 1711, 1709, 1707 - 12 AVENUE SW
LEGAL ADDRESS
L: 11-17 B: 218 P: 5380V

PROJECT NO: 21.51.WC_1709

DRAWN: WT CHECKED: MF
DATE: OCT. 13. 2023 SCALE: AS NOTED

LANDSCAPE PLAN

DRAWING NUMBER

L.100

THIS DRAWING AND DESIGN ARE AT ALL TIMES TO REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.

1 LANDSCAPE PLAN
L.100 3/32" = 1'-0"

PROPOSED PLANTINGS							
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE @ PLANTING	TYP. SPREAD	TYP. HEIGHT	REQ.	TOTAL PROVIDED
CONIFEROUS TREES							
	BLUE SPRUCE	PICEA PLUNGENS	2 m HIGH	10'-20'	50'-75'	LOW WATER	16
DECIDUOUS TREES							
	AMUR MAPLE	ACER GINNALA	60 mm CALLIPER			LOW WATER	4
SHRUBS							
	SAVIN JUNIPER	JUNIPERUS SABINA	0.60 m SPREAD	4'-0"	3' TO 6'	LOW WATER	248

LEGEND	
	SOD
	SANDBLASTED CONCRETE (WALKWAY)
	CONCRETE (APRON)
	CONCRETE PAVERS
	EXISTING TREE TO BE REMOVED
	BENCH
	FIRE PIT
	EXISTING GEODETIC ELEVATION
	PROPOSED GEODETIC ELEVATION

LANDSCAPE ANALYSIS

PARCEL AREA: 22,726 SQ.FT. [2111.31 SQ.M.]

REQUIRED LANDSCAPE AREA: 40% OF THE SITE AREA = 9,090 SQ.FT. [844.49 SQ.M.]

PROPOSED LANDSCAPE AREA REDUCTIONS:

- LOW WATER LANDSCAPING OPTION: 3% REDUCTION TO LANDSCAPE AREA = 681.8 SQ.FT. [63.34 SQ.M.]
- STREET-ORIENTED MULTI-RESIDENTIAL LANDSCAPING OPTION: 2 SQ.M. REDUCTION FOR EVERY 1M FRONTAGE = 882.6 SQ.FT. [82 SQ.M.]

LANDSCAPE ANALYSIS (CONTINUED)

REQUIRED LANDSCAPE AREA: 9,090 SQ.FT. [844.49 SQ.M.]

- 681.8 SQ.FT. [63.34 SQ.M.] LOW WATER LANDSCAPING
- 882.6 SQ.FT. [82 SQ.M.] STREET-ORIENTED DEVELOPMENT

TOTAL REQUIRED LANDSCAPING: 7,525.6 SQ.FT. [699.15 SQ.M.]

PROVIDED LANDSCAPE AREA: 13,911 SQ.FT. [1292.37 SQ.M.]
SOFT LANDSCAPE AREA: 3,732 SQ.FT. [346.71 91 SQ.M.]
HARD LANDSCAPE AREA: 10,179 SQ.FT. [945.66 SQ.M.]

- SHEET NOTES**
- N.01** PROPOSED FENCE [1830mm HIGH]
 - N.02** CLASS ONE BICYCLE STORAGE
 - N.03** CLASS TWO BICYCLE STORAGE
 - N.04** PROPOSED PRIVATE WASTE ENCLOSURE
 - N.05** EXISTING POWER POLE TO BE RELOCATED
 - N.06** PROPOSED LOCATION OF POWER POLE
 - N.07** TRELLIS, REFER TO DRAWINGS #10, #11, #12 ON DP.001
 - N.08** TRELLIS DESIGN #2, REFER TO DRAWINGS #13, #14, #15 ON DP.001

- GENERAL NOTES**
- ALL SOFT SURFACE LANDSCAPED AREAS TO BE IRRIGATED WITH UNDERGROUND LOW WATER IRRIGATION SYSTEM
 - ALL PLANT MATERIAL TO CONFORM TO THE CANADIAN NURSERY TRADES ASSOCIATION STANDARDS.
 - ALL SOD AREAS ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.
 - MINIMUM SOIL DEPTH OF 600MM FOR PLANTING BEDS WITH SHRUBS, AND 300MM IN ALL OTHER AREAS.

SITE PLAN

MUNICIPAL ADDRESS:
1707, 1709, 1711, 1713, 1717 - 12th Avenue S.W.
Calgary, Alberta

LEGAL DESCRIPTION:
Lots 11-17
Block 218
Plan 5380 V

PREPARED FOR: Westcrest Development Ltd.

DATE OF SURVEY: July 27th, 2023

SCALE: 1:200

LEGEND:

- Property Line
- Right of Way Line
- Eave Line
- Fence Line
- Sanitary Line
- Storm Line
- Water Line
- Gas Line
- Electrical Line
- A.G.T. Line
- Door
- Main Floor Window
- Second Floor Window
- Basement Floor Window
- Third Floor Window
- Power Pole
- Manhole
- Catch Basin
- Light Pole
- Sign
- Tree
- Calculation points
- Main Building Hatch
- Detached Garage Hatch
- Shed Hatch
- Concrete and Asphalt Hatch
- Wood Hatch
- Roof Hatch
- Elevation (Geodetic)

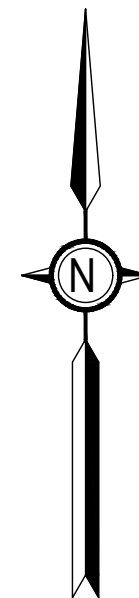
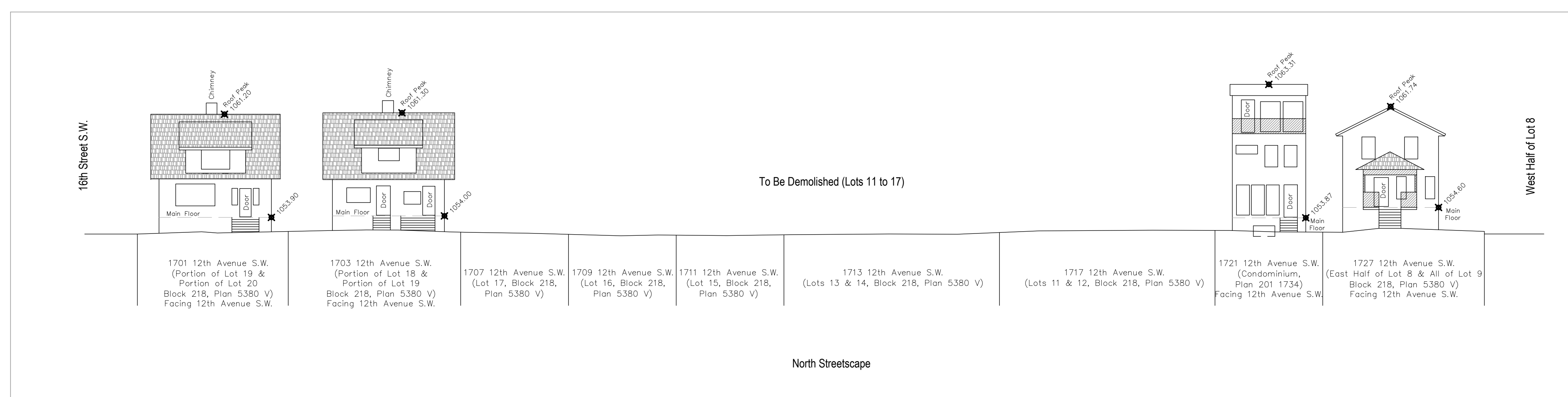
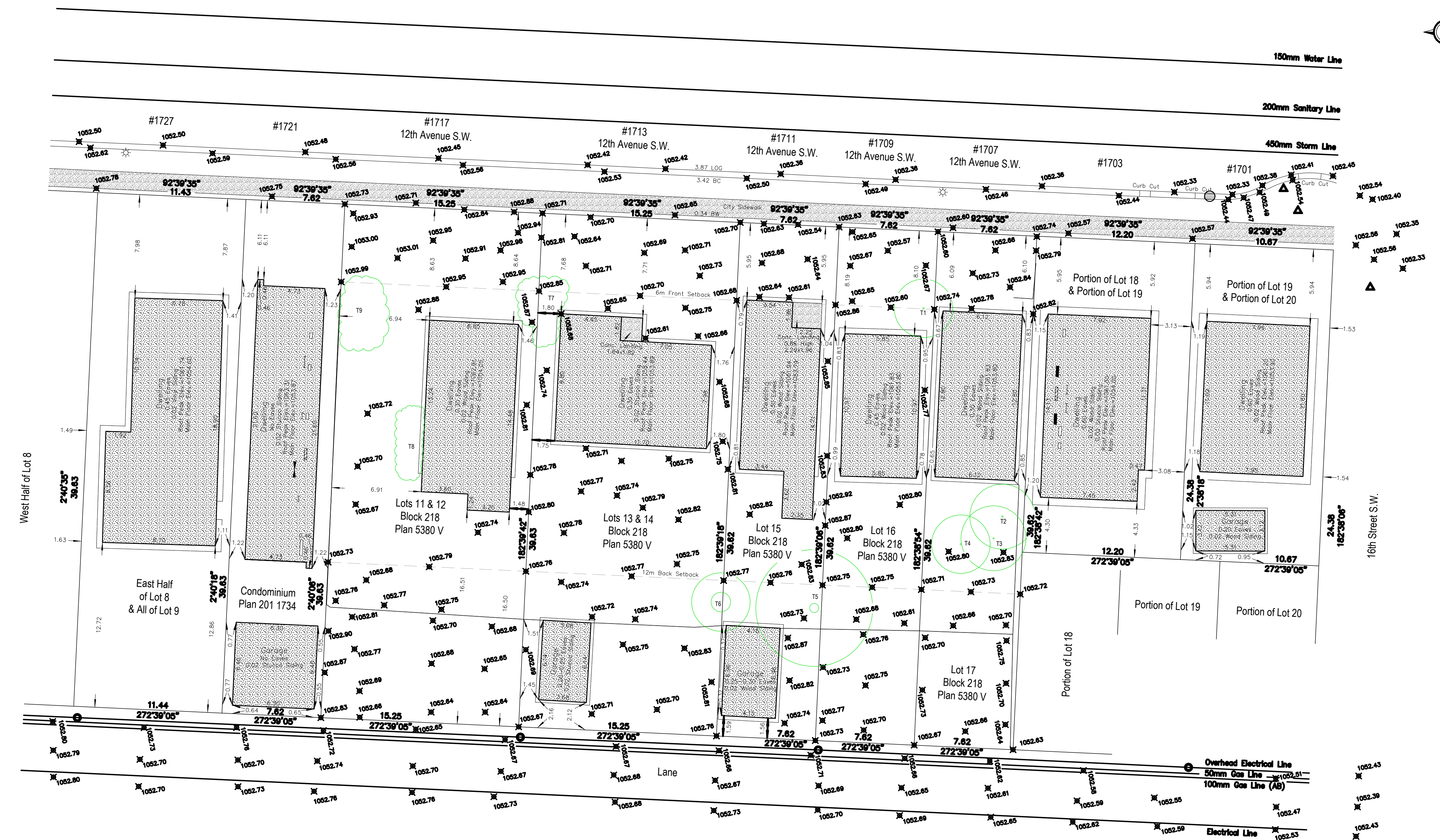
'L'-Length of Arc
'BC'-Bottom of Curb
'BW'-Bottom of Wall
'BW'-Back of Walkway
'Cont.'-Contour
'Cone'-Concrete
'Elev.'-Elevation
'Enc.-Encroachment
'LOG'-Lip of Gutter
'R'-Radius
'R/W'-Right of Way
'Ret.-Retaining
'TOW'-Top of Wall

NOTE:

- Distances are in Ground and are shown in Metres and Decimals Thereof.
- Distances Along Curves are Arc Distances.
- Elevations are Derived From ASCM 224048
- a. The Certificate of Title 001 039 764 was searched on the 31st day of July, 2023, and includes the following instruments:
Restrictive Covenant No. 58244C
Mortgage No. 091 265 265, 121 001 428, 121 107 533, 201 164 208
b. The Certificate of Title 001 039 764 +1 was searched on the 31st day of July, 2023, and includes the following instruments:
Mortgage No. 091 265 263, 121 001 428, 121 107 533, 201 164 208
c. The Certificate of Title 001 039 764 +2 was searched on the 31st day of July, 2023, and includes the following instruments:
Restrictive Covenant No. 577AJ
Mortgage No. 091 265 268, 121 001 428, 121 107 533, 201 164 208
d. The Certificate of Title 001 039 764 +3 was searched on the 31st day of July, 2023, and includes the following instruments:
Restrictive Covenant No. 577AJ
Mortgage No. 091 265 224, 121 001 428, 121 107 533, 201 164 208
Eaveat No. 091 265 225
e. The Certificate of Title 001 039 764 +4 was searched on the 31st day of July, 2023, and includes the following instruments:
Restrictive Covenant No. 5757X
Mortgage No. 091 265 193, 121 001 428, 121 107 533, 201 164 208
Eaveat No. 091 265 194
5. The Utilities Information is Acquired From "The City of Calgary Engineering Department" Drawing No. 80, 154, 166 & 202 in Sec.17-Twp.24-Rge.1-W4M.
(Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the Developer and Excavator to have all Utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

TREE SCHEDULE:

Tree No.	Variety	Caliper (cm)	Canopy (m)	Height (m)	Location
T1	Deciduous Tree	0.12	4.50	5.50	In Subject Property
T2	Deciduous Tree	0.12	5.00	5.50	In Subject Property
T3	Deciduous Tree	0.10	5.00	6.00	In Subject Property
T4	Deciduous Tree	0.12	4.50	5.50	In Subject Property
T5	Deciduous Tree	0.70	8.00	9.00	In Subject Property
T6	Bush	1.50	4.50	4.00	In Subject Property
T7	Bush	-	4.00	3.50	In Subject Property
T8	Bush	-	3.00	3.00	In Subject Property
T9	Bush	-	4.00	3.00	In Subject Property



RELEASES

NO.	DESCRIPTION	DATE
01	ISSUED FOR OP	10/13/2023

WESTCREST SUNALTA

MANUAL ADDRESS:
1717, 1713, 1711, 1709, 1707 - 12 AVENUE SW
LEGAL ADDRESS:
L: 11-17 B: 218 P: 5380V
PROJECT NO:
21.51.WC.1709
DRAWN: JS/BS
CHECKED: MF
DATE:
OCT.13.2023
SCALE:
AS NOTED

SITE SURVEY

DRAWING NUMBER:

S.100